

96 JASON STREET
ARLINGTON, MA 02476

CARRIAGE HOUSE RENOVATION



REVISION TABLE		NUMBER	DATE	REVISED BY	DESCRIPTION

COVER PAGE

PROPOSED
CARRIAGE HOUSE
RENOVATION

DRAWINGS PROVIDED BY:
AICHDOT Solutions, LLC

DATE:
6/27/2023

SCALE:

SHEET:
P-1



EXISTING SHED-CAPPED CORNICE RETURN

EXISTING DORMER & WINDOW TO REMAIN
WINDOW TO BE REPAIRED & ONLY
REPLACED IF NECESSARY

EXISTING HIP-CAPPED CORNICE RETURNS

EXISTING CEDAR LAP SIDING TO REMAIN
REPAIRED OR REPLACED WHERE NECESSARY
TO MATCH EXISTING

EXISTING LIGHT TO REMAIN

EXISTING
GUTTER

TWO EXISTING GARAGE DOORS TO REMAIN

EXISTING GARAGE FLOOR SLAB TO REMAIN
SHORED UP IF NECESSARY PER STRUCTURAL ENGINEER

EXISTING ASPHALT DRIVEWAY TO BE RE-
PAVED

EXISTING CUPOLA TO REMAIN
PROPOSED DIVIDED SIMULATED LITE WINDOWS
REPLACE LOUVERS
SIMILAR TO 28 JASON ST'S CUPOLA
(See Rendering & Photos)

PROPOSE EXISTING ROOF REPLACEMENT
STYLE OF SHINGLES & COLOR TO BE ROOF TRIM & SHED-
CAPPED CORNICE RETURN TO MATCH EXISTING. GUTTERS
TO BE REPLACED IN SAME STYLE AS EXISTING

PROPOSED Timberline® Natural Shadow™ IN CHARCOAL
SEE SPECIFICATIONS

PROPOSED WOOD STAIRS AND RAILING
TO BE BUILT IN THE SAME MATERIALS AND
THE SAME STYLE AS THE HOUSE
(see Photos)

PROPOSE RELOCATING EXISTING LIGHT
ABOVE PROPOSED PASSAGE DOOR

EXISTING
GUTTER

PROPOSED WOOD PASSAGE DOOR
Simpson Door Company
Mastermark Collection
Style: Colonial IV
See Specifications

Exterior Elevation Front

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PROPOSED
CARRIAGE HOUSE
RENOVATION

DRAWINGS PROVIDED BY:
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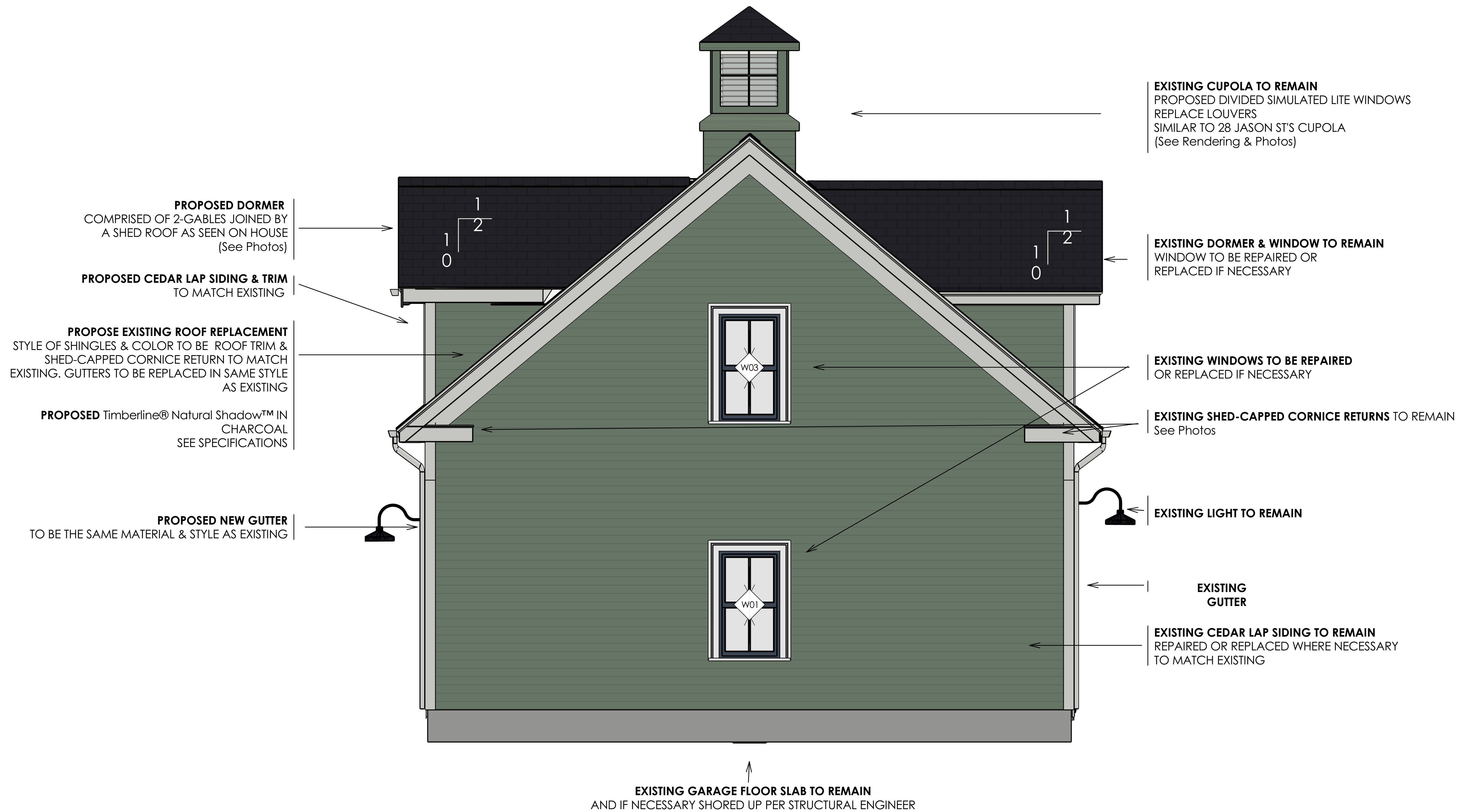
DATE:

6/27/2023

SCALE:

1/2 INCH

SHEET:



Exterior Elevation Left

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PROPOSED
CARRIAGE HOUSE
RENOVATION

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6/27/2023

SCALE:
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SHEET:



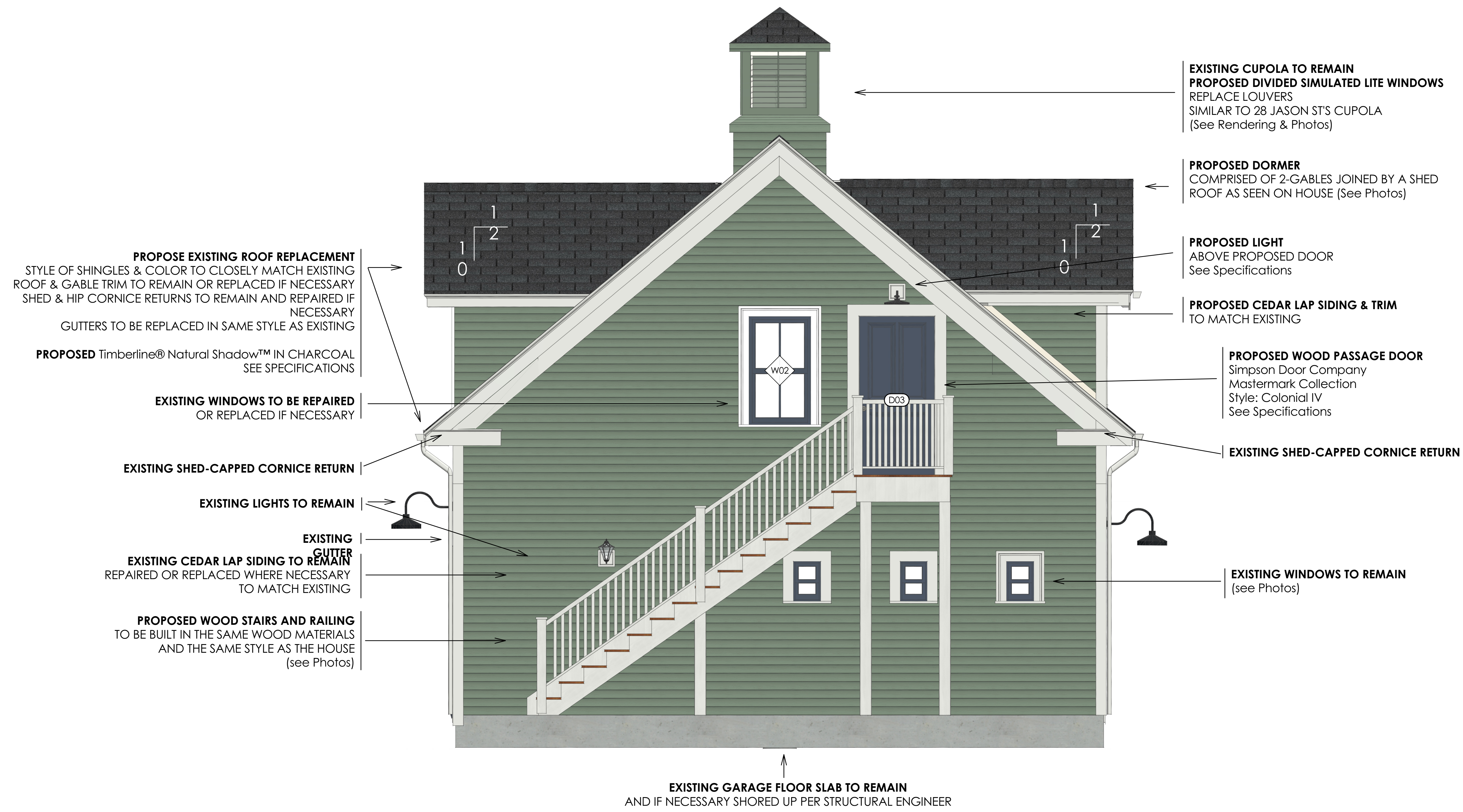
Exterior Elevation Back

REVISION TABLE		REVISION BY	DESCRIPTION
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CARRIAGE HOUSE
RENOVATION

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SHEET:



PROPOSE EXISTING ROOF REPLACEMENT
STYLE OF SHINGLES & COLOR TO CLOSELY MATCH EXISTING
ROOF & GABLE TRIM TO REMAIN OR REPLACED IF NECESSARY
SHED & HIP CORNICE RETURNS TO REMAIN AND REPAIRED IF NECESSARY
GUTTERS TO BE REPLACED IN SAME STYLE AS EXISTING

PROPOSED Timberline® Natural Shadow™ IN CHARCOAL
SEE SPECIFICATIONS

EXISTING WINDOWS TO BE REPAIRED
OR REPLACED IF NECESSARY

EXISTING SHED-CAPPED CORNICE RETURN

EXISTING LIGHTS TO REMAIN

EXISTING CEDAR LAP SIDING TO REMAIN
REPAIRED OR REPLACED WHERE NECESSARY
TO MATCH EXISTING

PROPOSED WOOD STAIRS AND RAILING
TO BE BUILT IN THE SAME WOOD MATERIALS
AND THE SAME STYLE AS THE HOUSE
(see Photos)

EXISTING CUPOLA TO REMAIN
PROPOSED DIVIDED SIMULATED LITE WINDOWS
REPLACE LOUVERS
SIMILAR TO 28 JASON ST'S CUPOLA
(See Rendering & Photos)

PROPOSED DORMER
COMPRISED OF 2-GABLES JOINED BY A SHED
ROOF AS SEEN ON HOUSE (See Photos)

PROPOSED LIGHT
ABOVE PROPOSED DOOR
See Specifications

PROPOSED CEDAR LAP SIDING & TRIM
TO MATCH EXISTING

PROPOSED WOOD PASSAGE DOOR
Simpson Door Company
Mastermark Collection
Style: Colonial IV
See Specifications

EXISTING SHED-CAPPED CORNICE RETURN

EXISTING WINDOWS TO REMAIN
(see Photos)

EXISTING GARAGE FLOOR SLAB TO REMAIN
AND IF NECESSARY SHORED UP PER STRUCTURAL ENGINEER

Exterior Elevation Right

REVISION TABLE	NUMBER	DATE	REVISY BY	DESCRIPTION

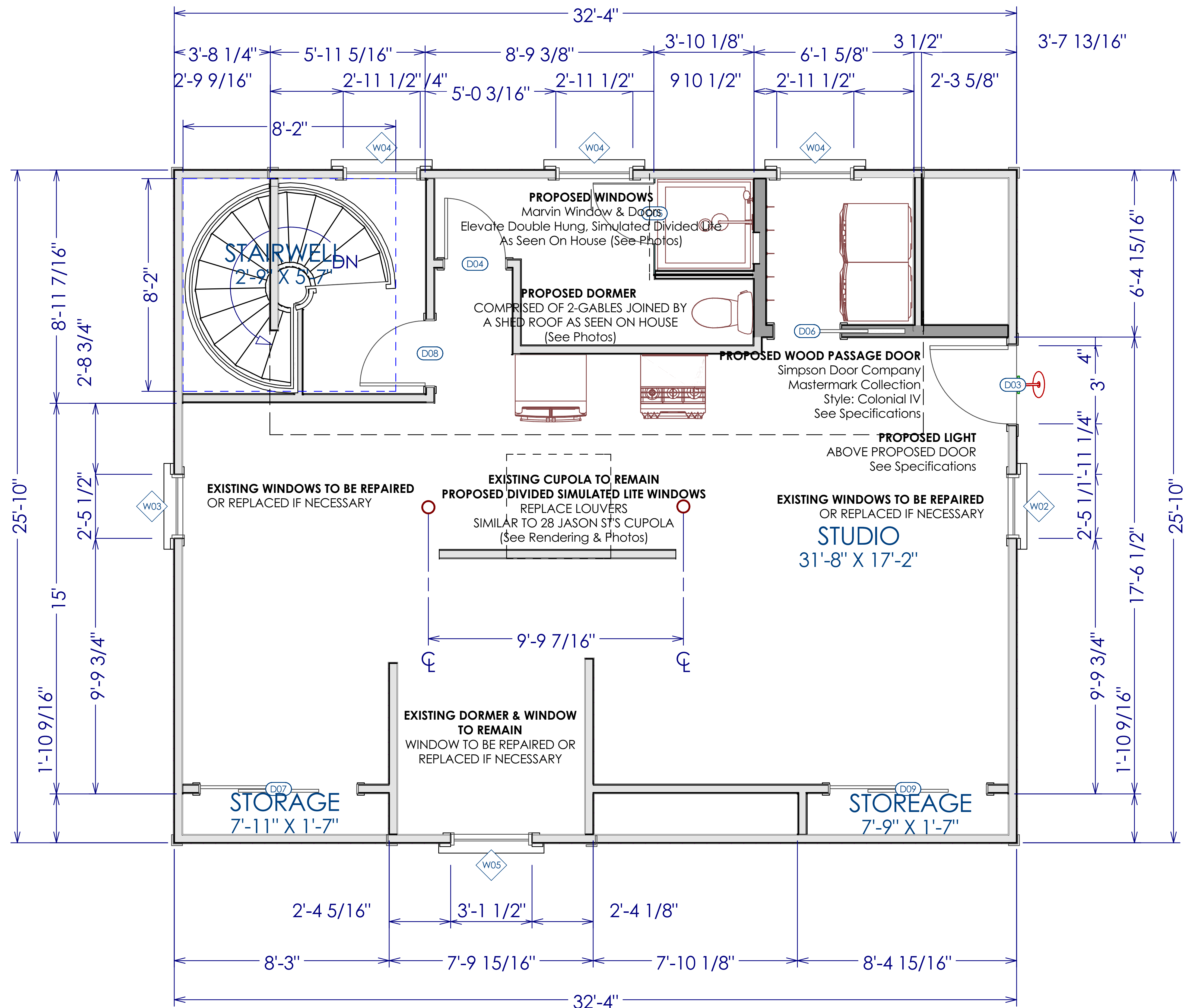
PROPOSED
CARRIAGE HOUSE
RENOVATION

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6/27/2023

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1/2 INCH

SHEET:



LIVING AREA
781 SQ FT
2nd Floor

REVISION TABLE	
NUMBER	DATE

PROPOSED 2ND
FLOOR LAYOUT

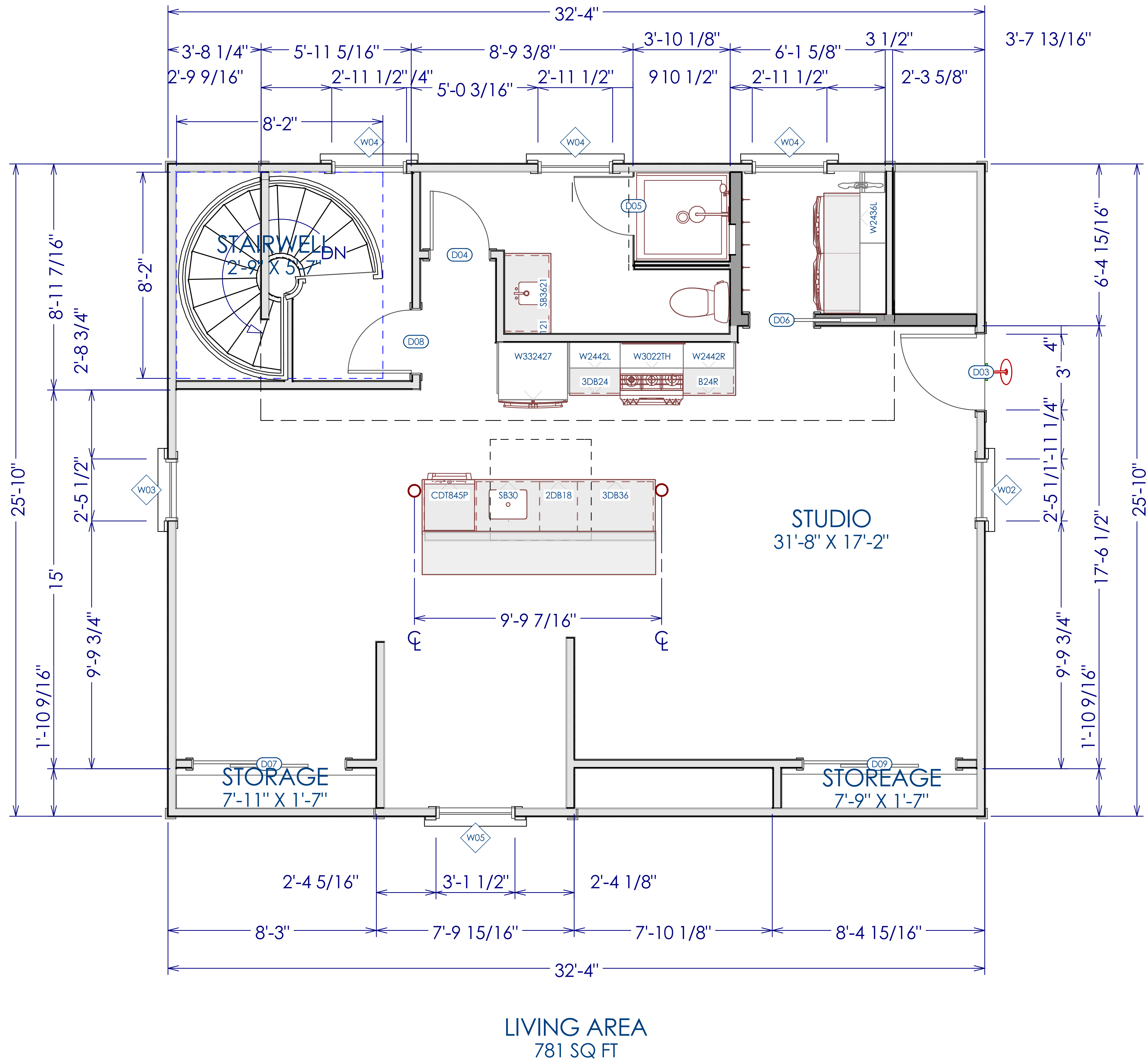
PROPOSED
CARRIAGE HOUSE
RENOVATION

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AICHDOT Solutions, LLC

DATE:
6/27/2023

SCALE:
1/2 INCH

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REVISION TABLE	
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PROPOSED 2ND
FLOOR LAYOUT

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CARRIAGE HOUSE
RENOVATION

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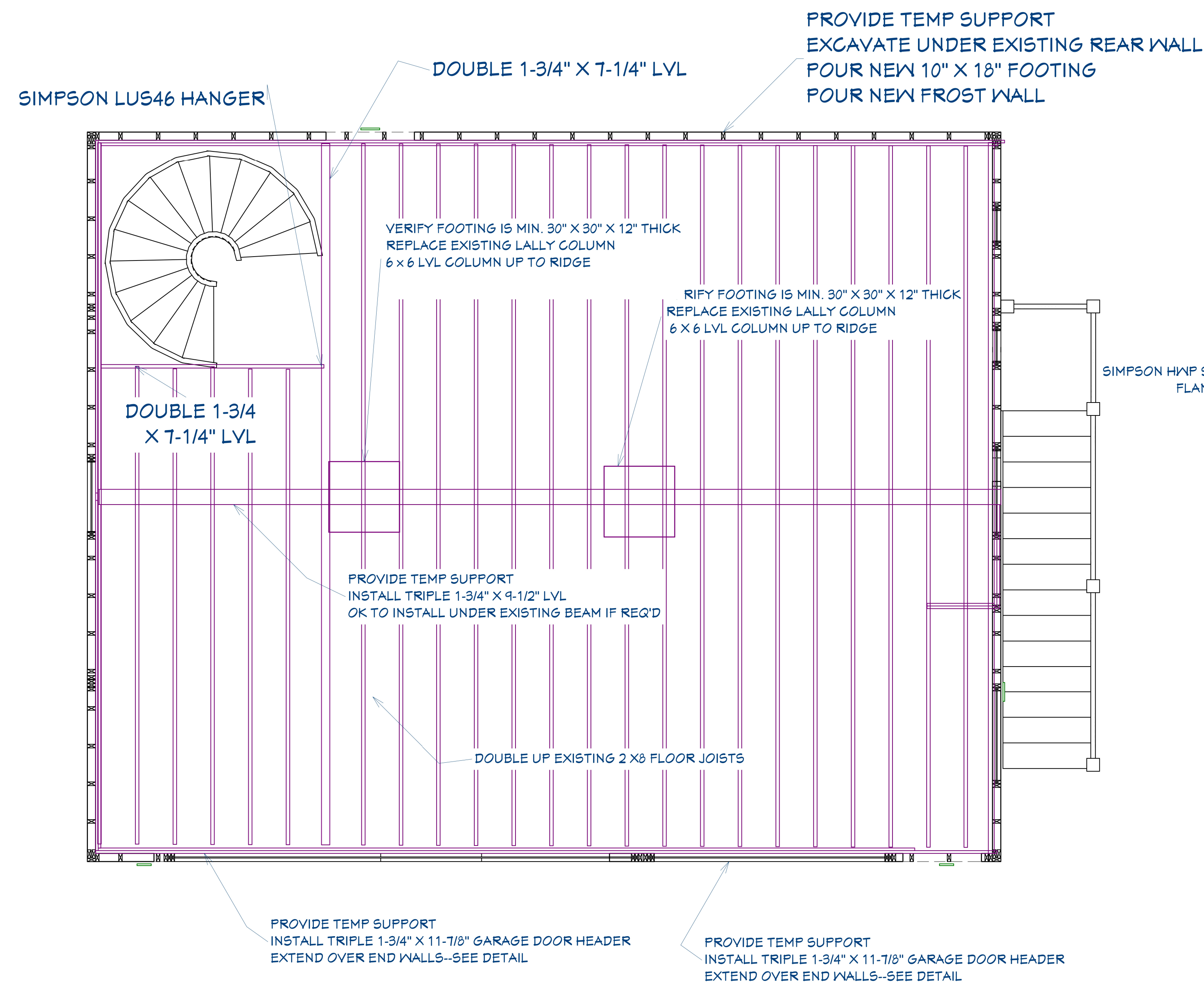
6/27/2023

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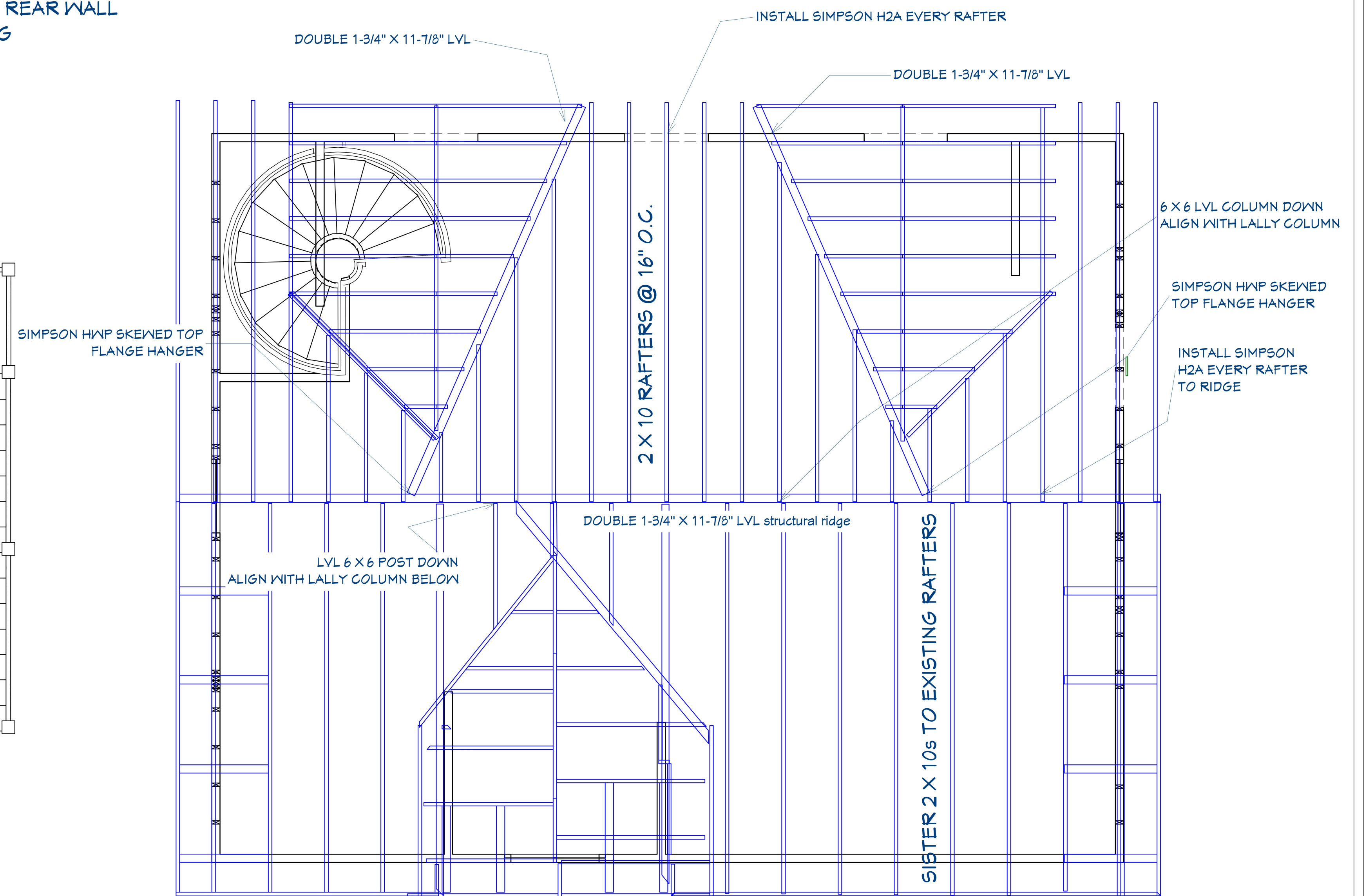
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SHEET:

FRAMING PLAN VIEWS



Framing, Floor Plan View



Framing, Roof Plan View

[illegible]

HISTORIC CARRIAGE HOUSE
96 JASON ST
ARLINGTON, MA

DRAWINGS PROVIDED BY:

DATE: 6/26/2023

SCALE:

SHEET:

S-101

EXISTING RIDGE

CONTINUOUS BLOCKING UNDER EXISTING RIDGE

BIRDSMOUTH CUT SISTERED 2 X 10s

DOUBLE 1-3/4" X 11-7/8" STRUCTURAL RIDGE

triple 1-3/4" x 9-1/2" 3100 series LVL

LVL 6 x 6 Columns down

W02

D03

LVL 6 x 6 COLUMN

1" Standoff base req'd

12" X 12" SQ. COLUMN TO BE MIN. 6" ABOVE FINISH GRADE INSTALL AND HOOK REBAR AS SHOWN IN FOOTING

NEW FROST WALL AND FOOTING

#4 REBAR @ 8" O.C. MIN 3" CONCRETE COVER

2 FT. X 6 FT FOOTING
BOTTOM OF FOOTING MIN. 48" BELOW FINISH GRADE
FOOTING TO REST ON UNDISTURBED SOIL

PORTAL DETAIL-INSTALL BOTH SIDES OF GARAGE DOOR

2x8 dbl. top pilt.
nailed @ 3' o/c each

2x4 backer

extend end stud
to dbl. top pilt.

QUAD 1-3/4 x
14" VERSALAM
3100 HEADER

Head Jamb

SST msc40 strap
opposite side
of sheathing

Jamb

2x8 framing &
5/8" MINIMUM AP.
STRUCTURAL 1 S
OSB NOT PERMIT
GARAGE FRONT
w/ 8d nails @ 3' o.
in all framing typ

fasten sheathing to
w/ 8d nails in 3" gr
pattern as shown

fasten top pilt. to hd
w/ two rows of 16d
sinker nails @ 3' o/c

SIMPSON HDU8-
SD52.5HDC

Drill/epoxy into existing
foundation
5/8" DIA. x 14" anchor bolts
w/ 3"x3"x1/4" washers
7" min. embedment

dbl. 2x8 blocking
@ panel joints
w/ 8d nails @ 3' O/C
in each panel edge

2x8 treated pilt.
w/ additional
dbl. sill plate

existing foundation

S-102